

REGULATORY SERVICES



To: **Development Management Service**
FAO S.HERKES

Date: 16/05/16

From: **Roads Planning Service**
Contact: **John Frater**

Ext: 5137

Ref: 16/00397/FUL

Subject: LAND FOR COMMERCIAL STORAGE
SITING OF 42 STORAGE CONTAINERS (RETOSPECTIVE)
LAND EAST OF LANGLEE MAINS FARMHOUSE – GALASHIELS

This proposal will create some additional traffic onto the C77 Langshaw public road. However, I am of a view that the increase will be relatively low, and that these vehicles will be generally spread out evenly throughout the working day. I also consider this will have little adverse effect on the current usage and free flow of traffic on the C77.

It should also be noted that this is a retrospective application, and to date, I have not been heard of any issues arising with the traffic generated with this development.

I have no roads objections to this application.

JAF

Scottish Borders Council

Regulatory Services – Consultation reply

Planning Ref	16/00397/FUL
Uniform Ref	16/00699/PLANCO
Proposal	Change of use of land to commercial storage and siting of 42 No storage containers (retrospective)
Address	Land East Of Langlee Mains Farmhouse Galashiels Scottish Borders
Date	25/4/16
Amenity and Pollution Officer	David A. Brown
Contaminated Land Officer	Reviewed – no comments

Amenity and Pollution

Assessment of Application

Nuisance

This is a proposal to site storage containers for commercial use.
There is potential for annoyance is exterior lighting is used.

Recommendation

Agree with application in principle subject to Informative.

Informative

Any lighting installation used on the premises should be designed in accordance with the guidance produced by The Institution of Lighting Engineers.

If necessary, suitable shuttering should be provided for each lamp to prevent unwanted light affecting the occupiers of properties off site.

PLANNING CONSULTATION

To: Economic Development Section

From: Development Management

Date: 7th April 2016

Contact: Stuart Herkes ☎ 01835 825039

Ref: 16/00397/FUL

PLANNING CONSULTATION

Your observations are requested on the under noted planning application. I shall be glad to have your reply not later than 28th April 2016, If further time will be required for a reply please let me know. If no extension of time is requested and no reply is received by 28th April 2016, it will be assumed that you have no observations and a decision may be taken on the application.

Please remember to e-mail the DCConsultees Mailbox when you have inserted your reply into Idox.

Name of Applicant: Wilson G Jamieson Ltd

Agent: Peter Macleoad

Nature of Proposal: Change of use of land to commercial storage and siting of 42 No storage containers (retrospective)

Site: Land East Of Langlee Mains Farmhouse Galashiels Scottish Borders

OBSERVATIONS OF: Economic Development Section

CONSULTATION REPLY

The Economic Development section would comment as follows:

We would generally support facilities that support rural businesses and this form of rented storage would appear to provide this facility. We assume the applicant must have determined there was a market for renting these containers prior to incurring such high expense. Whilst container storage sometimes is contained within industrial estates, they are a poor use of serviced employment land, which is extremely expensive to create and does not generate many jobs in proportion to the expenditure incurred. We therefore support this use, on what appears marginal land, which generally may be sterilised for other uses, due to the location of the gas main and overhead electricity cables, and that this use does not need public utility services.

Whilst the applicant has tried to ensure the containers try to blend in, generally they are quite urban in nature and would benefit from some form of screening. It is not clear exactly where the intended screen hedge is to be located, but as the containers are 2.6m high it will be some time before the hedge will have the desired effect. Planting adjacent to the public road verge may achieve screening much sooner than to the rear of the containers. In addition some woodland planting that will also screen the rest of the site may help, but its location will be restricted by services. We suggest that the Council's landscape architect is consulted for his view in this regard.

We would not support the site being granted for Class 4, 5 & 6 uses, as this is perhaps not an ideal location for other types of businesses and that perhaps a section 75 agreement should be considered to restrict the site to only be used for rural business uses.

PLANNING CONSULTATION

To: Forward Planning Section

From: Development Management

Date: 20th April 2016

Contact: Stuart Herkes ☎ 01835 825039

Ref: 16/00397/FUL

PLANNING CONSULTATION

Your observations are requested on the under noted planning application. I shall be glad to have your reply not later than 11th May 2016, If further time will be required for a reply please let me know. If no extension of time is requested and no reply is received by 11th May 2016, it will be assumed that you have no observations and a decision may be taken on the application.

Please remember to e-mail the DCConsultees Mailbox when you have inserted your reply into Idox.

Name of Applicant: Wilson G Jamieson Ltd

Agent: Peter Macleoad

Nature of Proposal: Change of use of land to commercial storage and siting of 42 No storage containers (retrospective)

Site: Land East Of Langlee Mains Farmhouse Galashiels Scottish Borders

OBSERVATIONS OF: Forward Planning Section

CONSULTATION REPLY

This application must be assessed against Policy ED7 – Business, Tourism and Leisure in the Countryside of the Scottish Borders Local Development Plan 2016, which states:

Proposals for business, tourism or leisure development in the countryside will be approved and rural diversification initiatives will be encouraged provided that:

- a) *the development is to be used directly for agricultural, horticultural or forestry operations, or for uses which by their nature are appropriate to the rural character of the area; or*
- b) *the development is to be used directly for leisure, recreation or tourism appropriate to a countryside location and, where relevant, it is in accordance with the Scottish Borders Tourism Strategy and Action Plan;*
- c) *the development is to be used for other business or employment generating uses, provided that the Council is satisfied that there is an economic and/or operational need for the particular countryside location, and that it cannot be reasonably be accommodated within the Development Boundary of a settlement.*

In addition the following criteria will also be considered:

- a) *the development must respect the amenity and character of the surrounding area,*
- b) *the development must have no significant adverse impact on nearby uses, particularly housing,*
- c) *where a new building is proposed, the developer will be required to provide evidence that no appropriate existing building or brownfield site is available, and where conversion of an*

- existing building of architectural merit is proposed, evidence that the building is capable of conversion without substantial demolition and rebuilding,*
- d) the impact of the expansion or intensification of uses, where the use and scale of development are appropriate to the rural character of the area,*
 - e) the development meets all other siting, and design criteria in accordance with Policy PMD2, and*
 - f) the development must take account of accessibility considerations in accordance with Policy IS4.*

Where a proposal comes forward for the creation of a new business including that of a tourism proposal, a business case that supports the proposal will be required to be submitted as part of the application process.

Particular attention needs to be given in the consideration of this application to criteria C in respect of the economic and/or operational need for the containers to be at this particular location.

Due consideration needs to be given to the visual appearance of the proposed storage containers and whether appropriate landscaping could be considered.

Advice : HSL-160531123331-325 DO NOT ADVISE AGAINST

Your Ref: Scottish Borders Council

Development Name: Langlee Mains, Galashiels

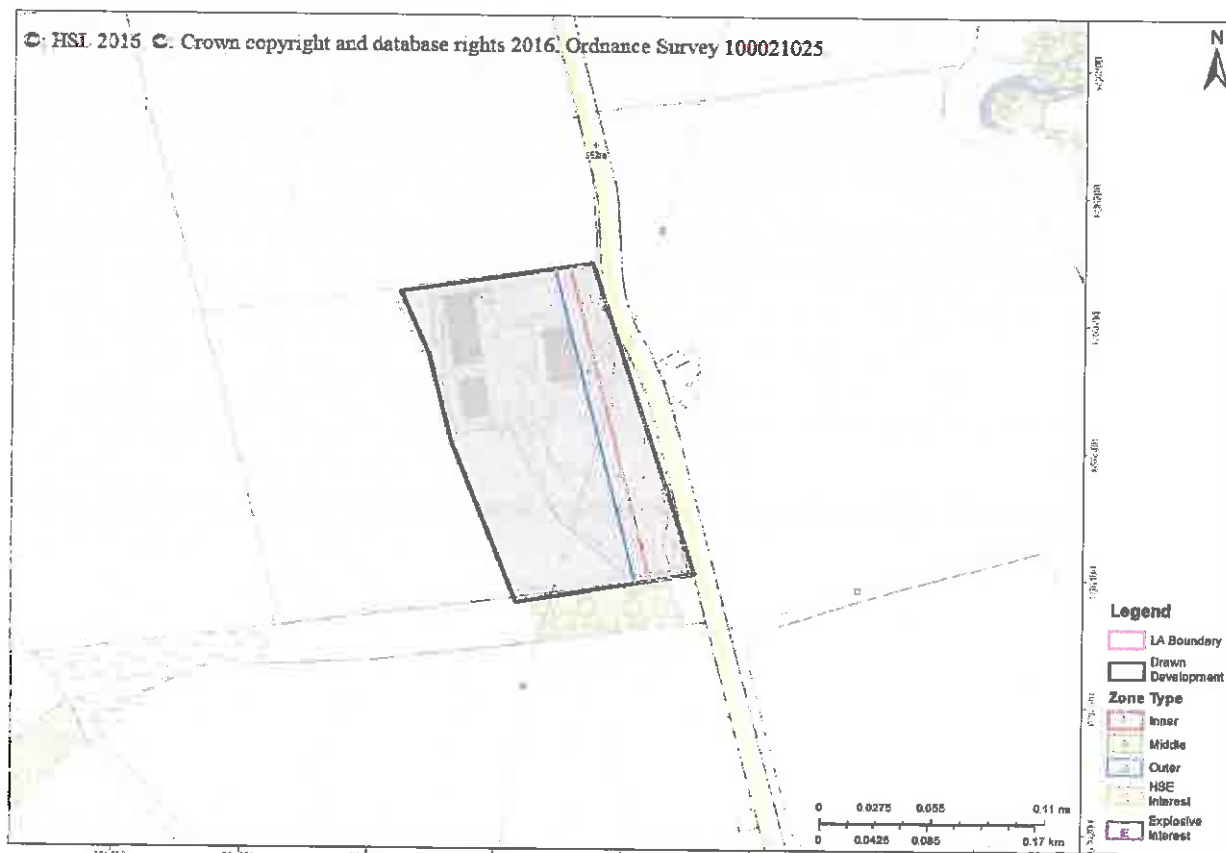
Local Authority Reference: 16/00356/FUL and 16/00397/FUL

Comments:

Land Use Planning Consultation with Health and Safety Executive [Town and Country Planning (Development Management Procedure) (England) Order 2015, Town and Country Planning (Development Management Procedure) (Wales) Order 2012, or Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013]

The Health and Safety Executive (HSE) is a statutory consultee for certain developments within the Consultation Distance of Major Hazard Sites/ pipelines. This consultation, which is for such a development and is within at least one Consultation Distance, has been considered using HSE's planning advice web app, based on the details input on behalf of Scottish Borders.

HSE's Advice: Do Not Advise Against, consequently, HSE does not advise, on safety grounds, against the granting of planning permission in this case.



Protective Marking: Official Sensitive

Breakdown:

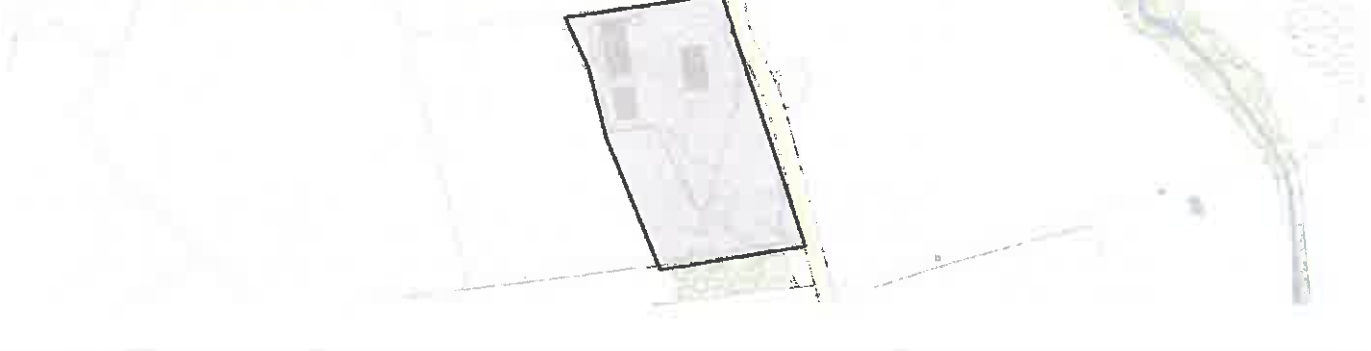
Workplaces DAA

Is it a workplace specifically for people with disabilities, e.g. sheltered workshops? No

Are there 100 or more occupants in any building in the workplace? No

Are there 3 or more occupied storeys in any building in the workplace? No

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Pipelines

7969_2227 Scotland Gas Network Ltd

As the proposed development is within the Consultation Distance of a major hazard pipeline you should consider contacting the pipeline operator before deciding the case. There are two particular reasons for this:

- The operator may have a legal interest (easement, wayleave etc.) in the vicinity of the pipeline. This may restrict certain developments within a certain proximity of the pipeline.
- The standards to which the pipeline is designed and operated may restrict occupied buildings or major traffic routes within a certain proximity of the pipeline. Consequently there may be a need for the operator to modify the pipeline, or its operation, if the development proceeds.

HSE's advice is based on the situation as currently exists, our advice in this case will not be altered by the outcome of any consultation you may have with the pipeline operator.

This advice report has been generated using information supplied by Stuart Herkes at Scottish Borders on 31 May 2016.

Note that any changes in the information concerning this development would require it to be re-submitted.



Our Ref: SC/0078834
Your Ref: 16/00397/FUL

Stuart Herkes
Scottish Borders Council
Scottish Borders Headquarters
Newtown St Boswells
Melrose
Scottish Borders, TD6 0SA

SGN
SHE Administration Team
Plant Protection
95 Kilbirnie Street
Glasgow
G5 8JD
Phone: 0800 912 1722
Email: plantlocation@sgn.co.uk

Date: 07/04/2016

Dear Customer,

Enquiry at: Land East Of Langlee Mains Farmhouse, Galashiels

Thank you for notifying us about the proposed development at the above location.

There are high pressure pipelines in the area of the proposed work. We have sent a copy of your correspondence to our local engineer who will be in contact directly.

In the meantime, SGN formally object to this planning application until such time as a detailed consultation has taken place.

Please find an extract from our mains records of the proposed work area enclosed for your guidance. This plan only shows the pipes owned by SGN in our role as a Licensed Gas Transporter (GT). Please note that privately owned gas pipes or ones owned by other GTs may be present in this area and information regarding those pipes needs to be requested from the owners. If we know of any other pipes in the area we will note them on the plans as a shaded area and/or a series of x's.

The information shown on this plan is given without obligation or warranty and the accuracy cannot be guaranteed. Service pipes, valves, siphons, stub connections etc. are not shown but their presence should be anticipated. Your attention is drawn to the information and disclaimer on these plans. The information included on the plan is only valid for 28 days.

Please note that the pipeline in the vicinity of the proposed development is a **Major Accident Hazard Pipeline** as per the Pipelines Safety Regulations 1996. For more information please read the HSE guidance document *L82: A Guide to the Pipelines Safety Regulations 1996*, (<http://www.hse.gov.uk/pubns/books/l82.htm>) in particular the guidance on safety regulations 15 and 16 and the emergency plan under Regulation 25.

In addition, please read your requirements under HSE Document: *PADHI: HSE's Land Use Planning Methodology* (www.hse.gov.uk/landuseplanning/padhi.pdf) for any major accident hazard pipeline.

This pipeline is also legally protected by a Deed of Servitude which restricts building and other works within the servitude area (as described in the deed).

Smell gas?
Call 0800 111 999

SGN is a brand name of Scotia Gas Networks Limited
Registered in England & Wales No. 04958135
Registered Office: St Lawrence House | Station Approach | Horley | Surrey RH6 9HJ
Authorised and regulated by the Financial Conduct Authority.



If you require any further information, please contact the number below.

Yours faithfully,

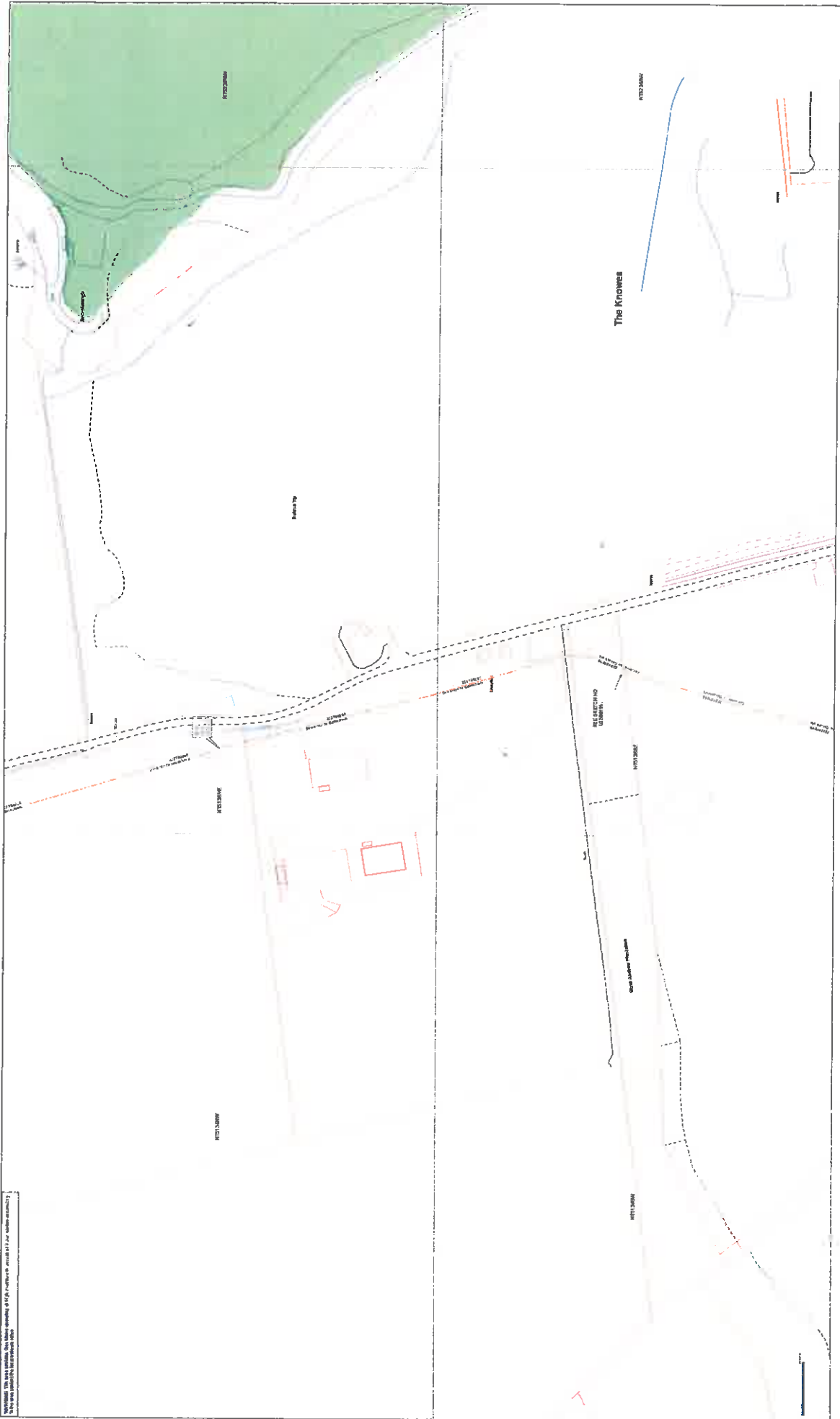
Dawn McGeachy

Admin Assistant

0800 912 1722

Smell gas?
Call 0800 111 999

SGN is a brand name of Scolia Gas Networks Limited
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Registered Office: St Lawrence House | Station Approach | Horley | Surrey RH6 9HJ
Authorised and regulated by the Financial Conduct Authority



This plan shows the location of those pipes owned by Scotia Gas Networks (SGN) by virtue of being a licensed Gas Transporter (GT). Gas pipes owned by other GTs or third parties may also be present in this area but are not shown on this plan. Information shown on this plan should be obtained from the relevant owners. No warranties are given with regard to the accuracy of the information shown on this plan. Some parts of the plan, such as the locations of other GTs, sub-contractors etc are not shown but their presence should be anticipated. You should be aware that a small percentage of our pipe assets are temporary and shown in yellow. If your proposed works are close to one of these pipes, you should contact the SGN Plant Protection Team on 0447070477 for advice. SGN's liability or any kind whatsoever is accepted by SGN or its agents, servants or sub-contractors for any error or omission contained herein. SGN's liability or any kind whatsoever is with HS (G47), must be used to verify and establish the actual position of mains, pipes, services and other structures. SGN's liability or any kind whatsoever is with HS (G47), must be used to ensure that plant location information is provided to all persons (whether direct labour or sub-contractors) working for you on or near gas apparatus. Information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

INTRANET MAP VERSION 2.1
Scottish Borders Area

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SCALE 1:1387

USER ID: dm73076

DATE: 07/04/2016

INTERNAL USE ONLY

GRID REFERENCE: E957590,N639513,NT 51.36

Some examples of Plant Items:

- Valve
- Syphon
- Diameter
- Change
- Material
- Change

LP MAINS

MP MAINS

IP MAINS

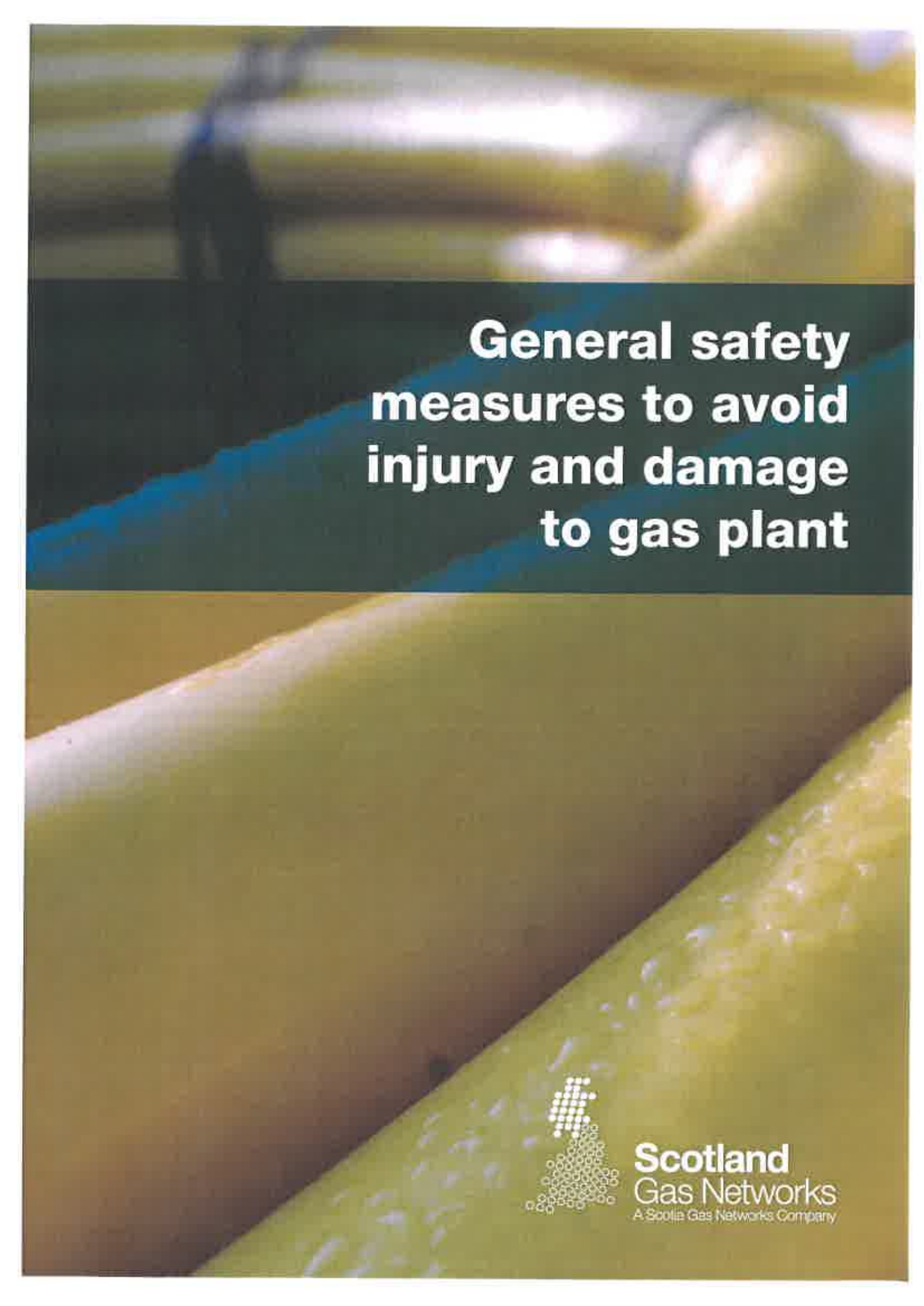
LHP MAINS

HISTORY DATA

LA's

GT's

SSSIs



**General safety
measures to avoid
injury and damage
to gas plant**



**Scotland
Gas Networks**
A Scotia Gas Networks Company

The following protective and precautionary measures **MUST** be taken when working/excavating in the vicinity of our plant.

To avoid injury to yourself, your employees, colleagues and the general public you **MUST** verify the details provided on our plans by tracing, hand-digging, trial holes and suitably marking its position on site.

You **MUST** ensure current full colour copies of our plans are issued and the presence and location of our plant, prior to excavation, is understood by all relevant personnel on site.

In an emergency

If you cause a gas leak or suspect a pipe or equipment is leaking, you **MUST** take the following emergency actions immediately:

- a. Get everyone away from the immediate vicinity of the gas escape;
- b. Inform us immediately by calling the National Gas Emergency Number on **0800 111 999***;
- c. Do not attempt to repair the escape or stop the leakage;
- d. Ask occupants of buildings adjacent to the escape to leave until it is safe for them to return;
- e. Damage to a service supplying a building may result in gas entering the building. Do not attempt to operate any valves;
- f. Prevent any approach to the immediate vicinity of the gas escape;
- g. Prohibit smoking and extinguish all naked flames. Do not use mobile phones or other sources of ignition within 15m from the leakage; and
- h. Assist our representatives, and other emergency services for example police, fire and ambulance as requested.

Additional reference material;

- HSE Guidance Note; HSG47 "Avoiding Danger from Underground Services" at www.hse.gov.uk and
- NJUG "Utilities Guidance on Positioning and Colour Coding of Apparatus" at www.njug.org.uk







Safe System of Work

We may request the production of Risk Assessments and Method Statements for any works deemed to have the potential to affect, cause risk to or pose a hazard to the safety and/or integrity of our plant. Where CDM legislation applies reference MUST be made to our plant within the site 'Health and Safety File'.

Financial

Every reasonable precaution MUST be taken to avoid personal injury or damage to our plant during the progress of the planned works. Any cost incurred by us for the repair of direct or consequential damage and the diversion of any affected plant will be recharged in full.

HSE

Any damage to our apparatus will be subject to legislative reporting responsibilities to the Health and Safety Executive under Reporting of Injuries, Diseases & Dangerous Occurrences Regulations (RIDDOR) and Gas Safety Management Regulations (GSMR).









Minimum safe working distances

If you are carrying out explosions, piling, splitting, boring and deep excavations, please contact us for further guidance. Trial holes **MUST** be dug by hand to determine the exact location of mains and service pipes in advance of mechanical excavation or thrust boring. Be aware of the potential for the presence of protruding objects from gas plant in the form of standpipes, test points and valve bodies.

Mechanical excavation

Mechanical excavators (including breaker attachments) **MUST NOT** be used within the following distances from the confirmed location of our gas mains and services (as depicted on our gas maps), without prior agreement:



Type of Mains and Services	GAS MAP Identification	Hand Excavation required inside	Pipe pressure indication shown on MAP
Low Pressure (LP)	0 – 75mbar	0.5 metres	
Medium Pressure (MP)	75mbar to 2 bar	0.5 metres	
Intermediate Pressure (IP)	2 – 7 bar	3.0 metres	
High Pressure (HP)	Above 7 bar	3.0 metres	

Note: We MUST be consulted prior to any planned excavation works within 10m of Pressure Reduction Equipment and may consider issuing a Permit to Work, if appropriate.

High pressures

In addition to receiving a copy of our 'Safe working in the vicinity of Scotland Gas Networks high pressure pipelines and associated installations', if any activities proposed are closer than the minimum distances listed below you **MUST** discuss with us to agree your site specific requirements.

Power Excavators in servitudes	>3 metres
Power Excavators in highway	>3 metres
Pressure testing	>8 metres
Piling	>15 metres
Demolition	>150 metres
Blasting	>250 metres
No-dig techniques	Method Statement required
Crossing servitude with plant	Written Consent required

Clearance requirements

No plant is to be laid over and along the line of a gas pipe irrespective of clearance. To allow the future repair and maintenance of gas plant, a minimum clearance of 250mm for low and medium pressure pipelines and 600mm for intermediate and high pressure pipelines, or 1.5 times the external diameter of the gas pipe, which ever is the greater, should be maintained between the gas plant and any new plant. Where this minimum clearance cannot be achieved, site discussions should be held with us or our representatives to agree a suitable clearance. Explosives shall not be used within 30m of our plant (400m for Pressure Reduction Equipment) without prior agreement. No piling or boring shall be carried out within 15m of our plant without prior consultation and agreement.









Surface boxes/Manholes

Do not bury or move our surface boxes. Access **MUST** be maintained both during and after your works. No manhole cover or other structure is to be built over, around or under a gas pipe and no work is to be carried out which results in a reduction or increase in cover or protection without prior written agreement.

Deep excavations

Where excavations adjacent to any of our potentially affects its security and integrity, adequate protection (approved by us) **MUST** be applied to such plant. Ground movement around gas **MUST** be prevented. If a sewer trench or any other water authority is to be constructed at greater than 1.5 metres deep near to a buried gas main or service pipe, we **MUST** be contacted. We should be provided with detailed drawings showing the line and width of the proposed sewer or other trench, together with the soil group classifications of the area concerned.

Crossing our plant

The placing of heavy construction plant, equipment, materials or the passage of heavy vehicles over our plant is prohibited unless specially agreed protective measures (i.e. the construction of reinforced crossing points) have been carried out. This is particularly important where reductions in side support or ground cover are planned.

Working in servitudes should not be undertaken without our prior written consent.

Exposed plant

Where excavations adjacent to gas plant affect its support, the plant **MUST** be adequately supported and protected in consultation with us and to our satisfaction. It **MUST** be protected from impact and restraints, thrust blocks and supports **MUST** not be removed without our agreement.

Hot works

The potential exists for heat damage to plastic pipelines/coatings. Where welding or other hot works involving naked flames is to be carried out in proximity to our plant, our representative should be present.

Backfilling

Concrete backfill should not be placed closer than 300mm to our plant. No concrete or hard material should be placed under or adjacent to any of our plant. Shuttering **MUST** be constructed so as to prevent fresh concrete encasing our plant and to maintain the stated clearances. Material used for the surround backfill of our plant **MUST** conform to the following requirements:

- If sand, it **MUST** be well-graded in accordance with BS EN 12620: 2002;
- It **MUST** not contain any sharp particles; stones, bricks, lumps or corrosive materials;
- Foamed concrete should not be used; and
- It **MUST** be laid to a minimum depth of 250mm above the crown of the plant.

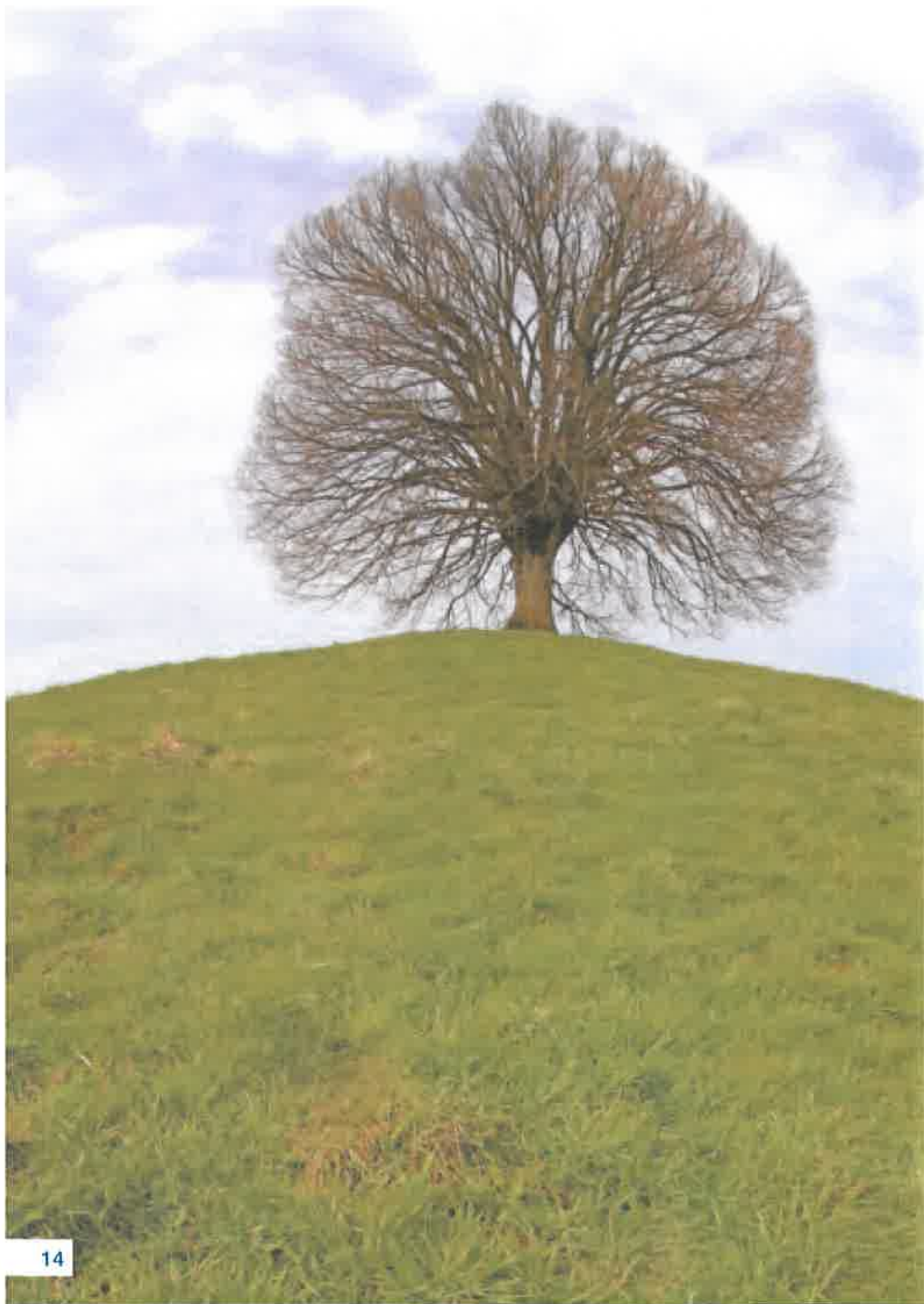
Note: Power ramming should not take place until a 300mm hand rammed layer has been completed over the crown of the pipe.

Access

Access to sites and our plant **MUST** be provided at all times. This includes temporary structures and spoil heaps over our pipes.







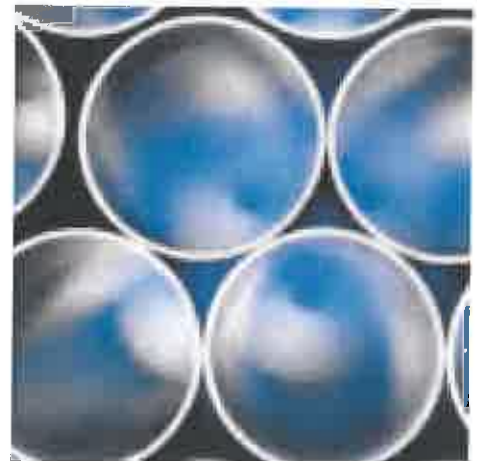
Tree planting

If trees or shrubs are to be planted adjacent to our plant, the selection of the type of tree or shrub and its planting **MUST** be considered so that root damage to buried mains or services will be avoided and that damage to trees or shrubs will not be caused by any subsequent excavations for repair and maintenance.

Before any tree planting is carried out on the servitude, our written approval **MUST** be obtained. Any approval we grant to plant trees on the servitude shall be subjecting to retaining the rights to remove, at any time in the future, all trees which in our opinion might become a danger to the pipe.

The written consent to plant trees will state what area may be planted and also the type of tree.

See over for specific species and the distances they **MUST** be planted from the pipeline.



The following trees and those of similar size, which may be deciduous or evergreen, shall not be planted within six metres of the centre line of the pipe e.g. Ash, Beech, Birch, most Conifers, Elm, Maple, Lime, Horse Chestnut, Oak, and Sycamore. Apple and Pear trees are also included in this category.

Dwarf Apple Stocks may be planted up to three metres of the centre line of the pipe.

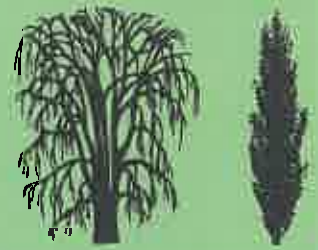


In cases where screening is required, the following are shallow rooting and may be planted close to the pipeline; Blackthorn, Broom, Cottoneaster, Elder, Hazel, Laurel, Quickthorn, Privet, Snowberry and most ornamental shrubs.

PIPELINE CENTRE

Raspberries, Gooseberries and Blackcurrants may be planted on the pipe, but a four metre strip, centred on the pipe, **MUST** be left clear at all times.

Poplar and Willow trees shall not be planted within 10 metres of the centre line of the pipe.



10m

6m - 9m



These types of trees may only be planted as individual specimens or as a single row in the area between six and 10 metres of the pipe. **Dense mass planting may only be carried out at distances greater than 10 metres from the pipe.**

3m - 6m

0m - 3m



Christmas Trees (*Picea Abies*) may be planted up to three metres of the pipeline. However, permission is given on the strict understanding that Christmas trees are clear-felled at intervals not exceeding seven years.

PIPELINE CENTRE

The only hardwood plants which can be planted directly across a pipe are hedge plants such as Quickthorn, Blackthorn etc and these shall only be planted where hedge is necessary either for screening purposes or to indicate a field boundary.

Note: For further guidance refer to NJUG 10.

**Scotland Gas Networks provides a
free plant location enquiry service
during office hours.**

Contact:

Tel: 0845 0703 497 or 0141 418 4093

Fax: 0141 429 6432

Email: plantlocation@sgn.co.uk

**Scotland Gas Networks, Plant Location Team,
Tradeston, 95 Kilbirnie Street, Glasgow, G5 8JD**

www.sgn.co.uk

We regret that information cannot be supplied by telephone. Requests **MUST** be made in writing (via letter, email or fax). For **ALL** enquiries please include the following information:

1. Full contact details (name, company name, address, telephone number and e-mail address).
2. Full site address, postcode and easting/northing grid reference.
3. Plan showing the site boundary.
4. Details of the work to be carried out.
5. The proposed start date (please specify if work is planning only).